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Application Number:	20/00930/REMM
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Application Type:	Reserved Matters Major
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Proposal Description:	Details of appearance, landscaping, layout and scale of design for the erection of 95 dwellings on approx 3.37ha of land (being matters reserved in outline application 14/02965/OUTM (appeal ref - 16/00025/REF) granted on 12/07/2017).
At:	Land Off Westminster Drive Dunsville Doncaster

For:	Harron Homes Ltd
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Third Party Reps:	12 (10 objections)	Parish:	Hatfield Parish Council
		Ward:	Hatfield

Author of Report:	Nicola Elliott
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SUMMARY

The proposal seeks reserved matters approval for the erection of 95 dwellings, the details sought are appearance, landscaping, layout and scale, as access was approved at appeal. Given that outline planning permission has been granted, there is no requirement to consider the principle of development in the countryside.

A viability appraisal has been submitted and been assessed by an independent consultant who has agreed that the scheme is not fully viable. A Deed of Variation to the Section 106 Agreement is to be drafted and signed following the outcome of this application.

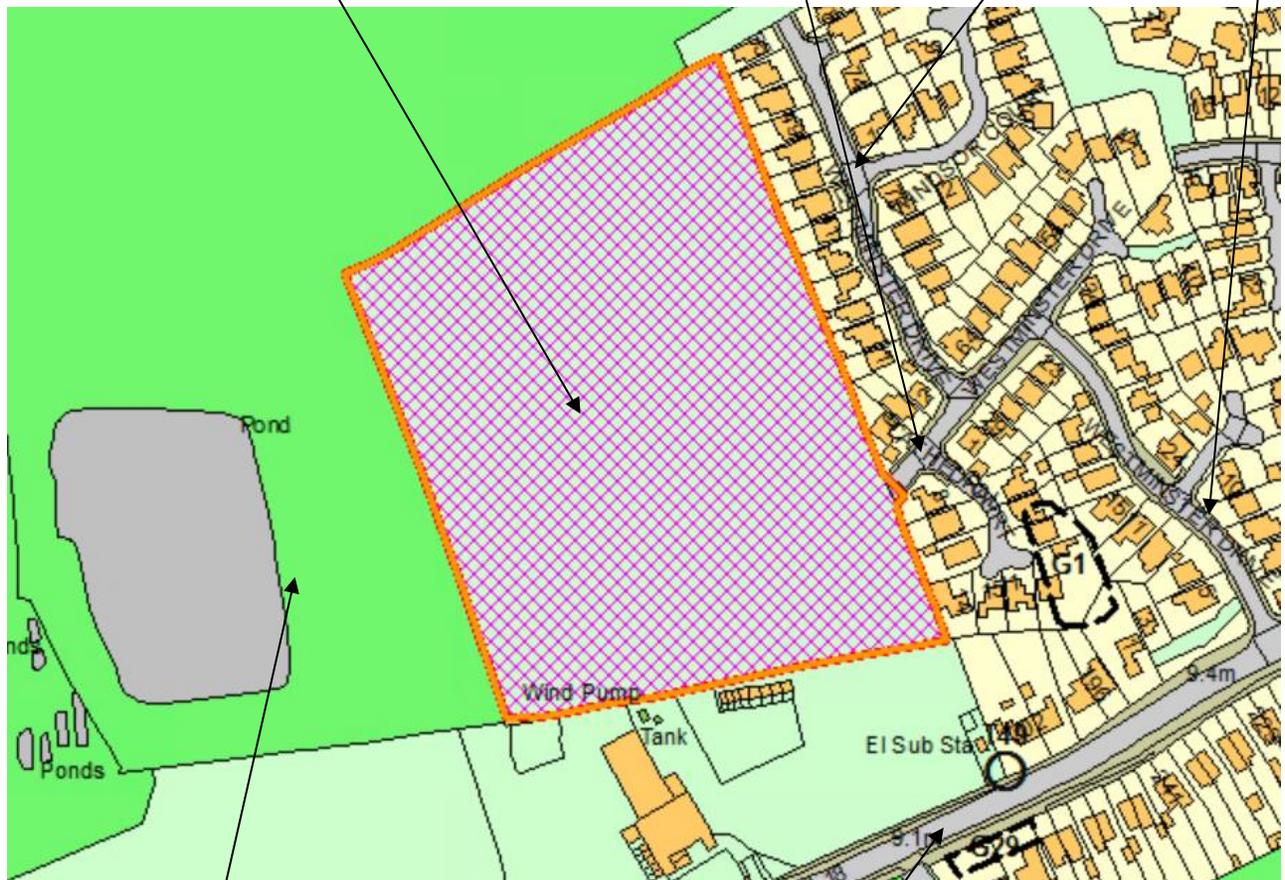
It is considered that the detail submitted by this application is acceptable in relation to residential amenity, design standards and its impact on the character and appearance of the surrounding area. The reserved matters are therefore recommended for approval subject to the signing of a Deed of Variation.

RECOMMENDATION: APPROVE

Application Site

Cathedral Court

Westminster Drive



20/00796/FULM (Proposed infrastructure works including drainage works, the provision of public open space and footpaths, and any associated infrastructure works).

A18 (High Street)

1.0 Reason for Report

- 1.1 This application is being presented to Planning Committee because the application has resulted in a significant level of public interest and a viability appraisal has been submitted.

2.0 Proposal and Background

- 2.1 Outline planning permission for 97 dwellings (including access) was approved on appeal on the 12th of July 2017 following a Public Inquiry. As part of that permission, a Section 106 Agreement was signed, meeting all policy requirements. A developer now has an option to buy the land for the development of 95 dwellings. In doing so, an amendment is sought to one of the conditions of the outline approval (application 20/00322/OUTM) to allow the reserved matters to deviate from an illustrative masterplan that was not intended as an approved plan as layout was not for consideration, and an additional area of land is to provide drainage and infrastructure works and public open space (application 20/00796/FULM). Only the reserved matters application is being considered by Planning Committee due to the level of objection received and the fact that the application was also accompanied with a viability appraisal highlighting that the scheme could not provide all of the previous Section 106 obligations and remain viable.
- 2.2 The scheme comprises of a mixture of 75 detached properties, of two and two and half storeys in height containing between 2 and 5 bedrooms. An area of formal open space will be situated at the entrance to the development, and a separate informal area to the north east of the site. Further open space will be situated to the west of the site, although this is outside of the red line boundary for this application site and is subject to a separate application. Materials used in the construction of the dwellings include red and buff brick, sections of render and red and grey tiles. The distribution of the materials is set out in the Materials Plan, alongside the proposed boundary treatments for the development.

3.0 Site Description

- 3.1 The site itself is located to the west of an existing housing development at Westminster Drive, to the north of High Street (A18), and the entrance to Dunsville. The adjacent housing development comprises of detached, two storey family properties constructed from red brick with red tiled roofs. To the south are a collection of farm buildings. The proposed access would be served from Westminster Drive, and the road through Westminster Drive ends at this point. The countryside beyond is bound by a timber panel fence. The site is predominantly flat and there are a number of trees within the site, and around the boundaries. Electricity lines run along the north of the site.

4.0 Relevant Planning History

- 4.1 The relevant planning history is as follows:

Application Reference	Proposal	Decision
14/02965/OUTM	Outline application for the erection of 97 dwellings on approx. 3.37ha of land (approval being sought for access)	Refused (18.03.2016)

16/00025/REF	Appeal for 14/02965/OUTM	Appeal Allowed (12.07.2017)
20/00322/OUTM	Outline application for the erection of 97 dwellings on approx. 3.37ha of land (approval being sought for access) - Section 73 application to vary condition 2 (amendments to illustrative layout plan) of planning application 14/02965/OUTM granted under appeal ref 16/00025/REF.	Pending consideration
20/00796/FULM	Proposed infrastructure works including drainage works, the provision of public open space and footpaths, and any associated infrastructure works.	Pending consideration

5.0 Site Allocation

5.1 The site is located within Countryside Policy Area as defined by Doncaster's Unitary Development Plan.

5.2 National Planning Policy Framework (NPPF 2019)

5.3 The National Planning Policy Framework 2019 (NPPF) sets out the Government's planning policies for England and how these are expected to be applied. Planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. The National Planning Policy Framework is a material consideration in planning decisions and the relevant sections are outlined below:

5.4 Paragraph 2 states that planning law requires applications for planning permission to be determined in accordance with the development plan, unless material considerations indicate otherwise.

5.5 Paragraphs 7 – 11 establish that all decisions should be based on the principles of a presumption of sustainable development.

5.6 Paragraph 48 of the NPPF states that local planning authorities may give weight to relevant policies in emerging plans according to:

- a) the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);
- b) the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
- c) the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

5.7 Paragraph 54 states that Local planning authorities should consider whether otherwise unacceptable development could be made acceptable through the use of

conditions or planning obligations. Planning obligations should only be used where it is not possible to address unacceptable impacts through a planning condition.

- 5.8 Paragraph 56 states that planning obligations must only be sought where they meet all of the following tests:
- a) necessary to make the development acceptable in planning terms;
 - b) directly related to the development; and
 - c) fairly and reasonably related in scale and kind to the development.
- 5.9 Paragraph 57 states that where up-to-date policies have set out the contributions expected from development, planning applications that comply with them should be assumed to be viable. It is up to the applicant to demonstrate whether particular circumstances justify the need for a viability assessment at the application stage. The weight to be given to a viability assessment is a matter for the decision maker, having regard to all the circumstances in the case, including whether the plan and the viability evidence underpinning it is up to date, and any change in site circumstances since the plan was brought into force. All viability assessments, including any undertaken at the plan-making stage, should reflect the recommended approach in national planning guidance, including standardised inputs, and should be made publicly available.
- 5.10 Paragraph 59 states 'To support the Government's objective of significantly boosting the supply of homes, it is important that a sufficient amount and variety of land can come forward where it is needed, that the needs of groups with specific housing requirements are addressed and that land with permission is developed without unnecessary delay'.
- 5.11 Paragraph 68 states that small and medium sized sites can make an important contribution to meeting the housing requirement of an area, and are often built-out relatively quickly.
- 5.12 Paragraph 109 states development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.
- 5.13 Paragraph 127 states planning decisions should ensure developments will function well and add to the overall quality of the area, are visually attractive and optimise the potential of the site.
- 5.14 Paragraph 170 states that planning policies and decisions should contribute to and enhance the natural and local environment by:
- a) protecting and enhancing valued landscapes, sites of biodiversity or geological value and soils (in a manner commensurate with their statutory status or identified quality in the development plan);
- 5.15 Core Strategy 2011 - 2028**
- 5.16 To the extent that development plan policies are material to an application for planning permission the decision must be taken in accordance with the development plan unless there are material considerations that indicate otherwise (see section 70(2) of the Town and Country Planning Act 1990 and section 38(6) of the Planning and Compulsory Purchase Act 2004.

- 5.17 In May of 2012 the LDF Core Strategy was adopted and this replaced many of the policies of the Unitary Development Plan; some UDP policies remain in force (for example those relating to the Countryside Policy Area) and will continue to sit alongside Core Strategy Policies until such time as the Local Plan is adopted. Core Strategy policies relevant to this proposal are:
- 5.18 Policy CS1 of the Core Strategy states that as a means of securing and improving economic prosperity, enhancing the quality of place and the quality of life in Doncaster, proposals will be supported that contribute to the Core Strategy objectives and which in particular provide opportunities for people to get jobs and protect local amenity and are well designed.
- 5.19 Policy CS2 of the Core Strategy sets out the Councils growth and regeneration strategy which includes the settlement hierarchy. It identifies Thorne as a principal town and identifies within Table 1 of Criterion A) an indicative housing allocation number between 646 -923 dwellings over the plan period.
- 5.20 Policy CS3 of the Core Strategy sets out the Councils position in relation to development in the countryside and Green Belt. Policy CS3 states that Doncaster's countryside will be protected and enhanced. It cites a number of examples of development that would be acceptable in the countryside and these do not include major housing schemes. Proposals which are outside of development allocations will only be supported where they would: retain and improve key green wedges; not be visually detrimental; not create or aggravate highway or amenity problems and preserve the openness of the Countryside Protection Policy Area.
- 5.21 Policy CS4 of the Core Strategy sets out the Authorities approach to dealing with Flood Risk in line with National Policy. Criterion A, B and C of Policy CS4 are applicable which looks to steer development away from the highest areas of flood risk, ensure that developments will be safe for the lifetime of the development and apply the Sequential Test and Exceptions tests where appropriate.
- 5.22 Policy CS9 states that new developments will provide, as appropriate, transport assessments and travel plans to ensure the delivery of travel choice and sustainable opportunities for travel.
- 5.23 Policy CS14 of the Core Strategy require development to be of a high quality design that contributes to local distinctiveness and that integrates well with its immediate surroundings.
- 5.24 Policy CS 15 of the Core Strategy sets out to preserve, protect or enhance Doncaster's historic environment in accordance with a set of principles, including;
- (B) Proposals will be supported which protect or enhance the heritage significance and setting of locally identified heritage assets such as buildings of local architectural or historic interest
- 5.25 Policy CS16 of the Core Strategy seeks to protect and enhance Doncaster's natural environment.

Doncaster's natural environment will be protected and enhanced, in accordance with the principles set out below.

A) Proposals will be supported which enhance the borough's Ecological Networks;

D) Proposals will be supported which enhance the borough's landscape and trees by:

1. being appropriate to the landscape's character, sensitivity and capacity;
2. including measures to mitigate any negative impacts on the landscape;
3. ensuring designs are of high quality, include appropriate hard and soft landscaping, a long term maintenance plan and enhance landscape character while protecting its local distinctiveness; and;
4. retaining and protecting appropriate trees and hedgerows, and incorporating new tree, woodland and hedgerow planting.

5.26 Saved Unitary Development Plan (UDP) Policies (Adopted 1998)

5.27 Saved Policy ENV2 is a general planning policy setting out that the borough council will maintain a countryside policy area in the eastern part of the borough covering all countryside outside the Green Belt and sets out specific criteria for protecting the countryside.

5.28 Saved Policy ENV4 is a general development control policy and sets out the generally acceptable uses within the Countryside. The proposal for residential development is not listed as an acceptable use within ENV4 and consequently the proposal represents a departure from the development plan.

5.29 Saved Policy ENV 37 seeks to protect sites of local archaeological significance.

5.30 Saved Policy ENV53 sets out that the scale and appearance of new development must have regard to its wider visual impact. Development will not normally be permitted if it would have a significant adverse visual impact on b) views across open countryside. Whilst scale and appearance are a reserved matter, consideration should be given to the principle of development is material consideration to which this policy should be applied.

5.31 Saved Policy RL 4 sets out how the Borough will seek to remedy local public open space deficiencies within existing residential areas and will require the provision of local public open space, principally of benefit to the development itself, within new residential developments in accordance with a number of standards.

5.32 Local Plan

5.33 The Local Plan has been formally submitted for examination on 4th March and an Inspector has been appointed therefore the Local Plan is now under examination. Paragraph 48 of the NPPF states that the LPA may give weight depending on the stage of the Local Plan and the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given). When the local plan was published under Regulation 19 in August 2019, all of the policies were identified as carrying 'limited weight' for the purposes of determining planning applications. Taking into account the remaining stages of the local plan process, it is considered the following levels of weight are appropriate between now and adoption dependant on the level of unresolved objections for each policy the level of outstanding objections has been assessed and the resulting appropriate weight noted against each policy:

- Substantial
- Moderate
- Limited

The emerging Local Plan identifies the site as Countryside Policy Area.

- 5.34 The Council is aiming to adopt the Local Plan by early 2021 and the following policies would be appropriate:
- 5.35 Policy 1 reinforces the guidance within the NPPF in that there should be a presumption in favour of sustainable development. This policy is considered to carry limited weight at this time.
- 5.36 Policy 2 identifies Duncroft, Dunsville, Hatfield & Stainforth as a main town, which will be a focus for new development. This policy is considered to carry limited weight at this time.
- 5.37 Policy 3 sets out that at least 40 per cent of the borough's total housing should be within the main towns such as Duncroft, Dunsville, Hatfield & Stainforth. This policy is considered to carry limited weight at this time.
- 5.38 Policy 6 sets out the Housing Allocations (Strategic Policy) and identifies sites that will help to deliver the housing requirement of which this site is one (Site 1058 - Land Off Westminster Drive, Dunsville). This policy is considered to carry limited weight at this time.
- 5.39 Policy 8 sets out the requirements for the range of housing including the need for affordable housing. This policy is considered to carry limited weight at this time.
- 5.40 Policy 14 seeks to promote sustainable transport within new developments. This policy is considered to carry limited weight at this time.
- 5.41 Policy 17 seeks to consider the needs of cyclists within new developments. This policy is considered to carry moderate weight at this time.
- 5.42 Policy 18 seeks to consider the needs of pedestrians within new developments. This policy is considered to carry moderate weight at this time.
- 5.43 Policy 26 deals with development in the countryside setting out the circumstances in which development in the countryside is acceptable. This policy is considered to carry limited weight at this time.
- 5.44 Policy 29 deals with open space provision in new developments. This policy is considered to carry limited weight at this time.
- 5.45 Policy 31 deals with the need to value biodiversity. This policy is considered to carry limited weight at this time.
- 5.46 Policy 33 states that the design process should consider woodlands, trees and hedgerows. This policy is considered to carry substantial weight at this time.
- 5.47 Policy 43 deals with the need for good urban design. This policy is considered to carry moderate weight at this time.

- 5.48 Policy 55 requires the need to take into account air and noise pollution. This policy is considered to carry limited weight at this time.
- 5.49 Policy 56 deals with the need to mitigate any contamination on site. This policy is considered to carry limited weight at this time.
- 5.50 Policy 57 requires the need for satisfactory drainage including the use of SuDS. This policy is considered to carry moderate weight at this time.
- 5.51 Policy 58 deals with the need to consider flooding. This policy is considered to carry limited weight at this time.
- 5.52 Policy 59 deals with low carbon and renewable energy within new developments. This policy is considered to carry moderate weight at this time.
- 5.53 Policy 61 requires the need to protect the best and most versatile agricultural land. This policy is considered to carry limited weight at this time.
- 5.54 Policy 66 deals with developer contributions. This policy is considered to carry moderate weight at this time.

5.55 Other material planning considerations

- Community Infrastructure Levy (CIL) Regulations (2010)
- Town and Country Planning (Environmental Impact Assessment) Regulations (2017)
- Development Requirements and Guidance Supplementary Planning Document (SPD) (2015)
- South Yorkshire Residential Design Guide (SPD) (2015)
- National Planning Policy Guidance

6.0 Representations

- 6.1 This application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015 by means of site notice, council website, press advertisement and neighbour notification.
- 6.2 Following this publicity, a total of 12 representations were received, 10 of which in opposition to the proposal – 3 of the representations duplications. A summary of the material planning issues raised is set out below:
- Access and traffic generation (*this is already approved by the outline consent and is not for consideration here*)
 - Access to facilities, such as schools and doctors surgeries (*this was taken into account during the outline application and is not for consideration here*)
 - (*There is a general misconception that the proposal seeks 95 further dwellings, this is incorrect, the proposal is actually a reduction in 2 dwellings from the outline permission.*)
 - Decimation of the countryside (*this was taken into account during the outline application and is not for consideration here*)
 - Flooding
 - Overlooking – will boundary treatment prevent overlooking of existing properties.

- Location of the POS, children will have to cross a busy road
- Insufficient parking
- Noise and disruption during construction

Non material issues raised included the following

- Loss of value of property

7.0 Hatfield Town Council

- 7.1 With application 20/00724/REMM this is a cumulative number of 286 dwellings, in spite of previous objections by HTC. This will greatly exacerbate traffic problems on the A18. It is excessive over development. *(There will be 95 dwellings in total on the site, this is not an additional application for development).*

8.0 Relevant Consultations

- 8.1 **National Grid** – No comments received.

- 8.2 **Northern Gas** – Consult National Grid

- 8.3 **Environment Agency** – No comments received.

- 8.4 **Yorkshire Water** – No objections.

- 8.5 **DMBC Ecology** – No objections, comments and recommendations for a Construction Environment Management Plan and an Ecological Enhancement Plan can still be applied in this case.

- 8.6 **DMBC Tree Officer** – No objections, subject to condition.

- 8.7 **DMBC Internal Drainage** – No objections.

- 8.8 **Doncaster East Internal Drainage Board** – Advisory notes provided.

- 8.9 **DMBC Education** – Comments not required as this is a reserved matters proposal.

- 8.10 **DMBC Housing Policy** - Comments not required as this is a reserved matters proposal.

- 8.11 **DMBC Highways Development Control** – Following amendments, no objections subject to condition.

- 8.12 **DMBC Transportation** – No comments.

- 8.13 **DMBC Design Officer** – Following amendments, no objection, subject to condition.

- 8.14 **DMBC Open Space Officer** – POS is now below 10% of the total site, which is the lower range of open space expected in UDP RL4. It is appreciated that there is a balance to be struck in design terms and the various competing requirements, and that there is offsite open space in the form of a woodland walk, however the open space has suffered and been reduced as this site has evolved. With this in mind, and considering that we are having to face a further reduction that we have said is

acceptable, if this is considered to be justified then it should be made clear to the applicants that we expect the open space that is delivered onsite to be excellent in terms of its overall quality and the quality of the equipment that goes in.

- 8.15 DMBC Pollution Control (Contaminated Land)** – Comments not required, dealt with at outline.
- 8.16 DMBC Area Manager** – No comments received.
- 8.17 DMBC Air Quality** – Comments not required, dealt with at outline.
- 8.18 DMBC Affordable Housing** – Provided advice on location and type of affordable housing.
- 8.19 South Yorkshire Police Architectural Liaison Officer** – The plans indicate that the development has been designed with security in mind. Surveillance from one property to each other is good with all car parking either in garages or observed from each dwelling. From the site plan, it is clear that the development borders fields and open land. It is therefore extremely important that the correct type of boundary fencing is erected to ensure the security of the dwellings especially those that are on the edge of the estate bordering the open land. From the outset, it is also recommended that the development is built to Secured by Design standards.
- 8.20 South Yorkshire Archaeology Service** – An archaeological evaluation took place but has not been reported on yet. However, following a site monitoring visit, it is noted that archaeological features were encountered. Hence, there will need to be some archaeological mitigation. The simplest course of action would be to carry over the archaeological condition from the earlier application.
- 8.21 South Yorkshire Fire and Rescue Service** – The proposal appears to be satisfactory in respect of Fire Service access to the new building, which should comply with the Building Regulations 2010, Approved Document B5 “Access and Facilities for the Fire Service
- 8.22 Natural England** – No comments to make.
- 8.23 South Yorkshire Passenger Transport Executive** – No comments received.
- 8.24 The Coal Authority** – Consultation not required.
- 8.25 Public Rights of Way** – No comments received.
- 8.26 Ward Members:** No comments received.

9.0 Assessment

9.1 The proposal seeks reserved matters approval for the appearance, layout, scale and landscaping of 95 dwellings previously approved at outline. The main issues for consideration are;

- The impact on the character of the area
- The impact on neighbouring residential properties
- The internal highway layout
- The impact on the existing trees and hedgerows
- The impact on the ecology of the site
- The archaeological implications
- Flooding and Drainage issues
- Financial contributions

9.2 For the purposes of considering the balance in this application the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little
- No

Principle of development

9.3 The principle of development has already been established by the approval of the outline consent at appeal. As such, the loss of countryside is not for consideration here, nor is access, as this was also approved by the outline application. It is the detail that was reserved at the outline stage that is for consideration – namely layout, appearance, scale and landscaping. Matters of principle have already been agreed.

Sustainability

9.4 The National Planning Policy Framework (NPPF 2019) sets out at paragraph 7 that the purpose of the planning system is to contribute to the achievement of sustainable development. At a very high level, the objective of sustainable development can be summarised as meeting the needs of the present without compromising the ability of future generations to meet their own needs

9.5 There are three strands to sustainability, social, environmental and economic. Para.10 of the NPPF states that in order sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development.

SOCIAL SUSTAINABILITY

Impact on Residential Amenity

- 9.6 Policy CS 14 of the Core Strategy seeks to ensure that proposals have no unacceptable negative effects upon the amenity of neighbouring land uses or the environment. The application site has residential neighbours to the east, most of which back onto the site. The Development Guidance and Requirements SPD makes clear that 2-3 storey properties should have back to back distances (between facing habitable rooms) of no less than 21m. This distance is maintained between the rears of new properties with existing. A 12m separation distance is maintained between side elevations of the new properties and the rear elevations of existing properties, again in accordance with guidance.
- 9.7 The SPD also makes clear that there should be at least 10m separation between the rear elevation and the rear boundary with neighbouring properties. Again the site plan shows that proposed properties along the eastern boundary can achieve the 10m required.
- 9.8 The proposed site plan also shows that a 1.8m high timber fence will be situated along the eastern boundary to ensure privacy between existing properties and those proposed. This was a concern raised in one of the objections to the proposal.
- 9.9 It is noted that some residents are concerned by the potential noise and disruption during the construction phase, however a condition requiring a Construction Method Statement is on the outline application and will need to be submitted prior to the commencement of development. This will also include measures to ensure that there is no deposition of mud on the highway.
- 9.10 As such it is considered that the proposal would not adversely affect neighbouring properties in terms of excessive levels of overlooking, over dominance, loss of privacy or overshadowing. This weighs positively in favour of the application carrying moderate weight.

Conclusion on Social Impacts.

- 9.11 In conclusion of the social impacts of the development, it is not considered that residential amenity will be adversely affect by the proposal in accordance with policy CS14. The proposal has been able to adequately demonstrate that residential development can be achieved on the site without adversely affecting the residential amenity of neighbouring properties through overlooking, over dominance or loss of privacy.
- 9.12 It is anticipated that the proposal would lead to some noise and disturbance being generated whilst construction is taking place, however this is considered to be short term when considered against the lifetime of the development. Notwithstanding this, planning conditions should mitigate this harm through the submission of a Construction Method Statement (already imposed on the outline consent) and as such this is considered to carry limited weight against the proposal.

9.13 ENVIRONMENTAL SUSTAINABILITY

Impact upon the character and appearance of the surrounding area

- 9.14 Policy ENV2 makes clear that the countryside should be protected in order to safeguard it from encroachment.
- 9.15 Policy ENV4 goes onto to make clear that developments should be sited, designed and, where necessary, screened so as to minimise its impact on and wherever possible enhance the character, landscape and nature conservation value of the local environment. Core Strategy Policy CS3 makes clear that development in the Countryside should protect and enhance the character of the countryside.
- 9.16 Policy ENV 53 of the UDP states that the scale and appearance of new development must have regard to its wider visual impact. Development will not be permitted if it would have a significant adverse visual implication on (a) views from major transportation routes; or (b) views across open countryside; or (c) views from important landmarks. Whilst the site will be visible from High Street (A18), it will have no greater wider visual impact than that of the development to the east and it will be a continuation of built form. The proposed drainage pond and additional area of POS will act as a buffer between the development site and the countryside beyond. The majority of dwellings are to be two storeys in site which is consistent with properties on Westminster Drive. There are some at two and half storeys on the proposed development, but as the additional floor is accommodated in the roof space, it is not considered to be out of scale with the surrounding area.
- 9.17 In considering the outline application, the Inspector stated that 'only limited glimpses of the site could be obtained due to the effectiveness of existing woodland. I acknowledge that the rooftops of the proposed houses may at certain points be visible on the approach to Dunsville but I consider that the overall visual impact on the area would be limited.' The Inspector continued to state 'I accept that that the greatest visual impact would be experienced by nearby residential properties on Westminster Drive and Cathedral Court. However appropriate separation distances to protect privacy and prevent overlooking can be achieved and landscape mitigation measures would assist to filter views.' As assessment of the separation distances is contained in paragraph 9.6 of this report.
- 9.18 As such, it is not considered that there is any conflict with policy ENV 53, to which moderate weight should be afforded in favour of the development.

Highways and parking

- 9.19 Highways safety and traffic generation is one of the concerns noted from objections to the proposal. As already stated, the point of access was agreed by the outline planning permission. Therefore only the design of the internal road layout/parking is for consideration as part of this application.
- 9.20 Policy CS 14 lists quality, stability, safety and security of private property, public areas and the highway; and permeability as qualities of a successful place. The NPPF makes clear at paragraph 109 that 'development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe'.

- 9.21 The application has been assessed by Highways Development Control, who following amendments to the scheme have raised no objections. The only issue is the location of some trees on the corners of junctions and to either ensure the type of tree used doesn't impact on forward visibility or to place the trees in alternative positions to ensure the forward visibility is achieved. This doesn't affect many junctions/corners so should be relatively easy to accommodate. A final landscaping scheme is subject to condition.
- 9.22 The SPD sets out that 'conventional residential streets should have speeds of 20mph or less, for shared space streets and shared space streets with protected zones, or home-zones, the target design speed should be 10mph'. Highways request that the estate is 20mph zone and the design would achieve the design speed for the development.
- 9.23 With regard to parking, the SPD lists the required parking allocation as '2 bed units; 1.5 spaces, where 1 space is allocated and 1 space is provided for every 2 dwellings in defined bays within the public highway, 3+ bed units; 2 allocated spaces per dwelling, plus 1 visitor space per 4 dwellings unallocated and provided in defined bays within the public highway or private drive'. There are 62 spaces within garages, 200 spaces within the plots and an additional 24 visitor spaces. This equates to 3.5 spaces per dwelling, plus an additional 24 visitor spaces. As such, adequate parking is proposed. Matters relating to access to sustainable transport were considered at outline.

Design

- 9.24 Paragraph 124 of the NPPF states that 'the creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.'
- 9.25 Paragraph 127 of the NPPF states that 'planning policies and decisions should ensure that developments:
- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
 - b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
 - c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
 - d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
 - e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
 - f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.'

- 9.26 Generally the layout is well considered and follows previous discussions at pre-application stage. It is connected and responsive to surrounding areas and features and benefits from a good level of permeability. Spaces are generally overlooked and private areas secure. Properties generally have a nice level of interest and detailing, and from experience of past developments carried out by this developer, are well built and attractive. The overriding character will be suburban and appropriate given the context. There is obviously an attempt to create hierarchy and character within the different streets and spaces which will give the scheme some individuality, interest and help with legibility. Therefore on balance, it is deemed acceptable given the existing context and an improvement over the neighbouring estate. Amendments have been made during the application process to reduce car dominated frontages. As such, it is considered that the proposal meets with policy CS 14 and the SPD.

Flooding and Drainage

- 9.27 The application site lies within an area designated as Flood Risk Zone 1 and has a low probability of flooding. A condition was placed on the outline permission to ensure that finished floor levels are set no lower than 8m above Ordnance Datum (AOD) and flood resilience measures are designed into each property. The applicant has stated that this will be carried out in accordance with the condition. The external works plans shows existing land levels and proposed floor levels which do not show that properties will be significantly raised to meet the floor level requirement. The plans show the ground level along the eastern side to be between 7.55m AOD and 8.40m AOD and the floor levels indicated on the plan show that no property along this boundary will exceed 8.60m AOD. It is not considered that the floor levels will result in a development that is out of scale with neighbouring buildings.
- 9.28 In addition to this application, a full planning application for infrastructure works to cover off-site drainage works, the provision of additional public open space and the diversion of existing high-voltage over-head cables (reference 20/00796/FULM) has been submitted simultaneously. Due to the limited interest in this application it is anticipated that should the reserved matters be approved, then the infrastructure application will be approved under delegated powers, and the deed of variation will ensure that both sites are legally tied to each other.
- 9.29 Existing runoff from the site drains naturally in the direction of a 'receptor' pond to the west of the site. The present arrangements are that the pond receives natural runoff and has an informal weir located in the south west corner. The approach to surface runoff from the Reserved Matters site is to utilise the existing pond as attenuation storage for surface water generated by the proposed development. It is proposed that surface water runoff from the site post development will discharge at an unrestricted rate into the pond. The pond will need to accommodate an increase in runoff volume post development. The residential drainage infrastructure will outfall into a reed bed/swale designed to clean the surface water prior to discharge into the pond via a new headwall.
- 9.30 The Council's Drainage Engineer, Environment Agency, Doncaster East Internal Drainage Board and Yorkshire Water have all been consulted on the proposal.
- 9.31 The applicant states that the proposals have been discussed and informally agreed with Yorkshire Water and the Doncaster East internal Drainage Board (DEIDB). DEIDB is prepared to accept future maintenance liabilities for the pond, the reed bed/swale upstream and all private assets downstream of the pond. This would be on the basis of the developer paying a commuted sum to DEIDB for the maintenance

of these assets for a period of 100 years. The proposed on-site surface water drainage network will be adopted by YW under a Section 104 agreement. DEIDB acknowledge that discussions have taken place but not that agreement has been yet been consented. They state that ‘the design, operation and future maintenance of site drainage systems must be agreed with the Lead Local Flood Authority and Local Planning Authority.’ To which there have been no objections from the Council’s Drainage Officer.

- 9.32 As such, in accordance with policy CS 4 and the NPPF, it is not considered that there are any flooding or drainage issues which would prevent approval of the application, which carries moderate weight.

Archaeology

- 9.33 A condition was placed on the outline application requiring that ‘as part of the reserved matters submission, an archaeological evaluation of the application area shall be undertaken in accordance with a written scheme of investigation that has been submitted to and approved in writing by the local planning authority. Drawing upon the results of this field evaluation stage, a mitigation strategy for any further archaeological works and/or preservation in situ shall be approved in writing with the local planning authority and then implemented concurrently with the development.’
- 9.34 An archaeological evaluation was provided and South Yorkshire Archaeology Service (SYAS) were consulted. SYAS have raised no objections to the proposal however state that there is a small area of archaeology which requires further work. The report identifies some features requiring further work. So, SYAS recommend adding the standard 2-part condition to any consent so that the further work can be carried out. The further work is not extensive. A ditch, probably Iron Age or Roman, appeared in two of the evaluation trenches to the north of the site. All that is required is for the area around this to be stripped and the nature of the feature clarified. There is no evidence that there are complex remains, such as a settlement, that would require a great deal of time and resources to deal with. Hence, no objection subject to condition and this is considered to be reasonable.

Trees and Landscaping

- 9.35 Policy ENV 59 of the Doncaster Unitary Development Plan states that in considering proposals for new development the borough council will attach considerable importance to the need to protect existing trees and hedgerows and other natural landscape features and will require that new developments do not cause unnecessary loss of tree, nor imperil trees by building works. Policy CS 16 (D) in part states that proposals will be supported which enhance the borough’s landscape and trees by ensuring designs are of high quality, include appropriate hard and soft landscaping and retaining and protecting appropriate trees and hedgerows, and incorporating new tree, woodland and hedgerow planting.
- 9.36 A new Tree Survey was carried out for this application and assessed by the Council’s Trees and Hedgerows Officer who considers that a very good level of arboricultural information supports this application with the results of the tree survey clearly informing the design and layout process (as is the intention of the BS5837 process). All of the individual trees surveyed at this site are category A oak trees and all of these are successfully retained within the scheme, in that the relationship of the built form sits acceptably with these trees (with allowance for future growth).

- 9.37 In terms of the soft landscaping there are very good entrance and frontage features that will help, to an extent, break up the hard elements in the street scene (taking the car parking in to account as per the Urban Design comments). However, for the number of units the proposed number of trees falls well below that of the guidance. Obviously, there should not be tree planting for the sake of it, but if additional tree planting could be considered along the paths leading out of the site in to the woodland POS areas (taking in to account street lighting) then this would be welcome, as the trees will provide site definition and guide pedestrians between the different land use types. As this is yet to be agreed, along with the palette of tree species as to what will be going where yet to be decided and the absence of the full planting and maintenance specifications, there are no objections to the proposal, subject to condition. This will address outstanding issues in relation to tree planting numbers and future management of the landscaping scheme

Ecology and Wildlife

- 9.38 Policy CS 16 seeks to protect and enhances the borough's ecological networks, avoiding harm where possible and ensuring that any unavoidable harm is appropriately mitigated and compensates. Doncaster's Ecologist has been consulted during the course of the application and raises no objection to the proposal.
- 9.39 In line with Paragraph 170 of the NPPF, planning decisions should contribute to and enhance the natural and local environment by minimising impacts on and providing net gains for biodiversity, including by establishing coherent ecological networks that are more resilient to current and future pressures.
- 9.40 The outline approval incorporated conditions for a Construction Environmental Management Plan (CEMP) to be submitted prior to commencement of development and a Habitat Management and Enhancement Plan (HMEP) to be submitted within three months of commencement of development. The Council's Ecologist responded to application 20/00796/FULM adjacent to this site but which dealt with the infrastructure, drainage and POS creation works and the response was based upon the FPCR ecology report of 29th October 2019 and in that response a number of conditions were provided based on the conclusions and recommendations of the ecology report. As the ecological survey (a 'walk over' survey) has also been submitted for this application and includes both the proposed residential area and the POS, woodland and drainage pond areas to the north and west of the site, the Ecologist would like the conditions to cover this area also. However, as this is a reserved matters application, it is not possible to add further conditions which go to the heart of the permission. That said, the CEMP and HMEP are still in place, and it is considered reasonable to add a further condition on lighting as layout is for consideration as part of this application. As such, there are no objections, subject to condition and the proposal is considered to adequately mitigate against an ecological impact, in accordance with policy CS 16.

Pollution issues

- 9.41 Matters relating to ground contamination and air pollution were dealt with at outline stage and appropriate conditions were included within that consent, namely a site investigation and measures should contamination be found. Electrical vehicle charging is also required by condition.

Conclusion on Environmental Issues

- 9.42 Para.8 of the NPPF (2019) indicates, amongst other things, that the planning system needs to contribute to protecting and enhancing the natural built and historic environment, including making effective use of land, helping to improve biodiversity, using natural resources prudently, minimising waste and pollution, and mitigating and adapting to climate change, including moving to a low carbon economy.
- 9.43 In conclusion of the environmental issues, it is considered that issues in relation to trees, ecology, landscaping, highways, flood risk and drainage and pollution have been overcome subject to suitably worded conditions. Collectively these issues weigh significantly in favour of the application. Overall therefore, the proposal is considered to balance positively in relation to environmental matters.

9.44 ECONOMIC SUSTAINABILITY

- 9.45 It is anticipated that there would be some short term economic benefit to the development of the site through employment of construction workers and tradesmen connected with the build of the project however this is restricted to a short period of time and therefore carries limited weight in favour of the application.
- 9.46 On a wider level, additional housing will increase spending within the borough which is of further economic benefit in the long term.

9.47 Conclusion on Economy Issues

- 9.48 Para 8 a) of the NPPF (2019) sets out that in order to be economically sustainable developments should help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation and improved productivity; and by identifying and coordinating the provision of infrastructure.
- 9.49 Whilst the economic benefit of the proposal is slight and afforded only limited weight, it does not harm the wider economy of the borough and for that reason weighs in favour of the development.

9.50 Planning Obligations and Viability

- 9.51 Paragraph 54 of the NPPF states that local planning authorities should consider whether otherwise unacceptable development could be made acceptable through the use of conditions or planning obligations. Planning obligations should only be used where it is not possible to address unacceptable impacts through a planning condition.
- 9.52 Paragraph 56 states that planning obligations must only be sought where they meet all of the following tests
- a) necessary to make the development acceptable in planning terms;
 - b) directly related to the development; and
 - c) fairly and reasonably related in scale and kind to the development.

- 9.53 These are the statutory tests as set out in the Community Infrastructure Levy Regulations 2010. In the event that planning permission is granted, the following contributions would be required.
- 9.54 Paragraph 57 of the NPPF states that 'where up-to-date policies have set out the contributions expected from development, planning applications that comply with them should be assumed to be viable. It is up to the applicant to demonstrate whether particular circumstances justify the need for a viability assessment at the application stage. The weight to be given to a viability assessment is a matter for the decision maker, having regard to all the circumstances in the case, including whether the plan and the viability evidence underpinning it is up to date, and any change in site circumstances since the plan was brought into force'.
- 9.55 As stated in the introduction to this report, a fully compliant Section 106 Agreement was signed during the appeal for the outline application. The agreement provides for the following;
- Education (policy CS1) - commuted sum of £255,003 for the provision of 21 primary school places at Dunsville Primary School
 - Affordable Housing (NPPF, policy CS 12) - 26% on site provision.
 - Public Open Space (policy CS17 and RL4) - 15% on site provision
 - Transportation (CS9) - A returnable Travel Plan Bond of £10,189.85 to mitigate any traffic in the event that targets in the Travel Plan are not met.
 - Unity Project Contribution (policy CS 2) - a commuted sum of £150,000 to be applied towards bringing forward Infrastructure in the form of the Hatfield Link Road in connection with the Unity Project
 - West Moor Link Contribution (policy CS 9) - a commuted sum of £89,182 to be used for the purposes of developing the A630 West Moor Link Dualling.
 - South Yorkshire Passenger Transport Executive Contribution (policy CS 9) - a commuted sum of £20,938.59 for the upgrade of the westbound and eastbound bus stops closest to the entrance of Westminster Drive on the A18 through the provision of bus shelters.
- 9.56 In accordance with the NPPF and policy CS 12, a viability appraisal has been submitted with the proposal which demonstrates that the scheme cannot make all of the above contribution and remain viable. The appraisal has been independently assessed by a viability consultant who states that there is a surplus amount of £509,311 available for either S106 payments or an off-site contribution towards affordable housing.
- 9.57 In accordance with protocol, a meeting of the Section 106 Board was held for Ward Members and Cabinet Members to decide where the monies available would be better spent for the public benefit. It should be noted that this was not a meeting to discuss the merits of the planning application, or viability, as this is the responsibility of Planning Committee. It was decided that there was greater benefit in the monies being used for on-site affordable housing. In built units this is 8 affordable homes. Following the meeting it was actually considered that there may be a small surplus from the £509,311, and officers recommend that any additional

funds be allocated to the improvement of existing stock as the intention of Members was clearly for affordable housing over the other obligations.

Public Open Space

- 9.58 As stated, the s106 Agreement states that 15% of the site will be laid out as Public Open Space, this meets with the policy requirement in this ward. The reserved matters scheme shows three areas of public open space, an equipped space in the south eastern corner, an informal space at the entrance to the additional land on the western side of the site and an informal space at the north eastern end of the site. These areas equate to approximately 8.2% of POS on the site. Additional public open space will be provided outside of the outline consent, on the site for the additional infrastructure works. This will enable more public open space to be delivered as part of the proposed development as a whole. This will include the construction of an informal footpath network through a woodland area. This will enable existing and new residents, to have access to a circular walk through the woodland area, which is a significant benefit. As only the footpath can be considered usable public open space, this equates to an area of approximately 0.2ha. When added to the on-site provision, this total approximately 14.2% POS (made up of approximately 8% on site, and 6% off site, but on adjacent land).
- 9.59 Whilst this does not fully meet policy as part of this allocation is off site, it is considered reasonable on the whole given that the adjacent site will be linked to this site via a legal mechanism. The area provided by the woodland walk will provide a pleasant and accessible green space, which can be enjoyed by existing and future residents. The public open space will be maintained and managed privately through a management company. It should be noted that the pond area has been excluded from the public open space area to manage any safety concerns.
- 9.60 As such, it is considered that the proposal provides sufficient public open space, whilst it may be slightly less than the 15%, this is marginal and outweighed by the quality and variety proposed. The play equipment will be subject to condition so that the local planning authority can be assured of a high quality equipped play area.

10.0 PLANNING BALANCE & CONCLUSION

- 10.1 In accordance with Paragraph 11 of the NPPF, the proposal is considered in the context of the presumption in favour of sustainable development. Officers have identified no adverse economic, environmental or social harm that would significantly or demonstrably outweigh any benefits identified when considered against the policies in the NPPF taken as a whole. The application seeks permission of the details reserved by an earlier application allowed on appeal and it is considered that subject to the recommended conditions, there are no material considerations which indicate the application should be refused.

The proposed layout offers adequate protection of residential amenity as a result of its design and layout, and will be of a design which sits sympathetically with existing development, being seen as an extension to Westminster Drive. Whilst the scheme does not provide the full 15% POS on site, the area incorporated on the adjacent land combined with the space shown on the site will offer approximately 14%, which on the whole is considered acceptable and is not found to weight significantly against

the development. It offers an alternative approach to POS in the form of a woodland walk which will create a wider community benefit than that of a play area.

Whilst it is unfortunate that the development can no longer provide all of the planning obligations originally approved at outline, this has been substantiated by a viability appraisal that has been assessed by an independent consultant who has agreed that the scheme is not fully viable. As such, the proposal is compliant with the NPPF and this is not considered to be a sufficient reason to refuse the application.

Matters relating to trees, ecological, drainage and archaeological have been taken into account and are not considered to weigh against the development. The proposal is therefore recommended for approval.

11.0 RECOMMENDATION

Reserved Matters be **GRANTED**, and the decision to grant be delegated to the Head of Planning to issue following the completion of a Deed of Variation to the original Section 106 Agreement.

Agreement and subject to the following conditions:

01. The development hereby permitted must be carried out and completed entirely in accordance with the terms of this permission and the details shown on the approved plans listed below:

532_001_Rev H Site Layout
348_006_Rev A Infrastructure Plan
348_007_Rev E Combined Materials Plan
R-2310-1 Rev E Landscape Masterplan

PL-200_Rev - Type A_Brick
PL-201_Rev - Type B_Brick
PL-202_Rev A Type C_Brick
PL-203_Rev A Type Ev0_Brick
PL-204_Rev A Type Ev0_Render
PL-205_Rev A Type Ev1_Brick
PL-206_Rev A Type Ev1_Render
PL-207_Rev - Type F_Brick
PL-208_Rev - Type F_Render
PL-209_Rev A Type I_Brick

PD.04.01 Edlingham_Floor Plans_Red Brick
PD.04.02 Edlingham_Elevations_Red Brick
PD.10.01 Portchester_Floor Plans_Red Brick
PD.10.02 Portchester_Elevations_Red Brick
PD.30.01 Kenilworth_Elevations_Red Brick
PD.30.02 Kenilworth_Floor Plans_Red Brick
PD.31.01 Dunstanburgh_Floor Plans_Red Brick
PD.31.02 Dunstanburgh_Elevations_Red Brick
PD.55.01 Windsor_Plans and Elevations_Red Brick
PD.55.05 Windsor_Plans and Elevations_Render
PD.61.01 Warkworth_Floor Plans Render
PD.61.01 Warkworth_Floor Plans_Red Brick

PD.61.02 Warkworth_Elevations_Red Brick

PD.61.03 Warkworth_Elevations_Render

532-210 Single Garage Side Gable

REASON

To ensure that the development is carried out in accordance with the application as approved.

02. Before the development commences, product details of the proposed external materials shall be submitted to and approved in writing by the Local Planning Authority. This may include submission of samples if requested by the Local Planning Authority. Unless otherwise agreed in writing with the Local Planning Authority, the development shall be carried out in accordance with the approved materials.

REASON

To ensure the satisfactory appearance of the development.

03. No development shall take place on the site until a detailed hard and soft landscape scheme has been submitted to and approved in writing by the Local Planning Authority;

The hard landscape scheme shall include details of all external hard surfacing materials including footpath treatments and carriageway finishes. It shall include confirmation of agreement to implementation of any offsite footpath connections with third parties, in order to ensure suitable connectivity with adjacent areas, and details of boundary treatments. A detailed design for the area of Public Open Space, seating and activity areas, including details of proposed equipment and street furniture shall be submitted and agreed. The development shall be carried out in accordance with the approved details.

Unless as shall be specifically approved by the Local Planning Authority, the soft landscape scheme shall include a plan indicating the planting location of all trees and shrubs; a schedule including the nursery stock specification for all shrubs and trees in compliance with British Standard 3936: Part 1: 1992 Specification for Trees and Shrubs, details of planting pits and staking; planting density/numbers; a detailed specification for engineered tree pit construction for trees within hard surfaced areas that utilises a professionally recognised method of construction to provide the minimum rooting volume set out in the Council's Development Guidance and Requirements supplementary planning document and a load-bearing capacity equivalent to BS EN 124 Class C250 for any paved surface above; a specification for planting including details of tree support, tree pit surfacing, aeration and irrigation; a maintenance specification and a timescale of implementation, which shall be within 3 months of completion of the development or alternative trigger to be agreed. Thereafter, the landscape scheme shall be implemented in full accordance with the approved details which should include a detailed management plan for aftercare for establishment until independence in the landscape is achieved. Any tree or shrub planted as part of the scheme that is removed or is found to be dying, diseased or seriously damaged within five years of practical completion of the planting works shall be replaced during the next available planting season in full accordance with the approved scheme, unless the local planning authority gives its written approval to any variation.

REASON

These details have not been provided and are required prior to commencement of development to ensure that a landscape scheme is implemented in the interests of environmental quality and compliance with Core Strategy policy CS16.

04. Within one month of commencement, a lighting design strategy for light sensitive biodiversity in the peripheral areas residential development and shall be submitted to and approved in writing by the Local Planning Authority: The strategy shall show how, external lighting is specified, located and orientated so that it can be clearly demonstrated that it will not disturb or adversely affect the use of the semi-natural areas of the site and it surrounding green spaces by bats and other species of wildlife. Any luminaries used in the peripheral areas of the site adjoining areas of greenspace should be of the LED type which provide a lower intensity of light. The use of warm white spectrum (preferably 2700Kelvin) should be adopted to reduce the blue light component with a wavelength exceeding 550nm . The strategy shall be informed by the Institute of Lighting Professionals/Bat Conservation Trust, Guidance Note 08/18: Bats and Artificial Lighting in the UK. All external lighting shall be installed in accordance with the specification and locations set out in the strategy and maintained as such.

REASON

To ensure the ecological interests of the site are maintained in accordance with Core Strategy Policy 16

Informatives

01. INFORMATIVE

The development hereby approved shall commence before (DATE TO BE INSERTED TO ALLOW FOR 2 YEARS AFTER DECISION ISSUED).

02. INFORMATIVE

The development, for which the reserved matters are hereby approved, shall be carried out in complete accordance with the conditions set out above and those imposed on planning permission reference 14/02965/OUTM (appeal ref - 16/00025/REF) granted on 12/07/2017.

03. INFORMATIVE

Further to your consultation in respect of the above, the proposal appears to be satisfactory in respect of Fire Service access to the new building, which should comply with the Building Regulations 2010, Approved Document B5 "Access and Facilities for the Fire Service."

Please note: that our current appliances are well above the 12.5 tonne limit referred to in ADB - SYFRS Maximum authorised mass (mam) is 18000kg

Please note below, a table of information in relation to current SYFR appliance dimensions and weights. South Yorkshire Fire and Rescue is keen to promote the benefits of sprinkler systems to protect lives, property and the environment. As such it is recommended that this is allowed for when determining the water supply requirements for the site. The above notwithstanding, if the proposal should become the subject of a Building Regulations application then detailed comments may be made at that time.

04. INFORMATIVE

From the outset, it is recommended that the development is built to Secured by Design standards. Details of which can be found at www.securedbydesign.com If this is not to happen, in order to maximise security on the estate and reduce the chances of attacks on the dwellings, the following recommendations should be carried out.

1. All external doors and must comply with PAS 24 (2016) or LPS 1175 SR2. As the building must achieve door and window security in line with approved Document this is the same standard as that required for Secure by Design therefore no additional costs would be incurred,
2. All windows to comply with security standard PAS24(2016)
3. The glazing units consist of a minimum of one pane of glass that achieves compliance under the BS EN356 P1A attack resistance standard.

05. INFORMATIVE

The developer's attention is drawn to the information provided by Doncaster East Internal Drainage Board The information may be found by viewing the consultation reply from the Doncaster East Internal Drainage Board which is attached to the planning application on the Council's website. Please use the following link www.doncaster.gov.uk/planningapplicationsonline

The above objections, consideration and resulting recommendation have had regard to Article 8 and Article 1 of the First Protocol of the European Convention for Human Rights Act 1998. The recommendation will not interfere with the applicant's and/or objector's right to respect for his private and family life, his home and his correspondence.

Appendix 1: Location Plan



Appendix 2: Site Plan



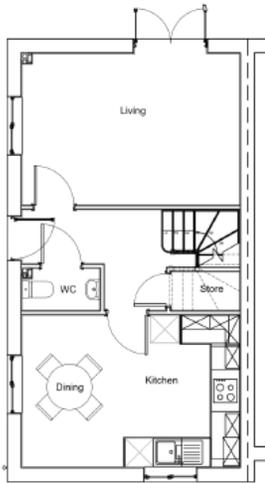
Appendix 3 – Typical Elevations



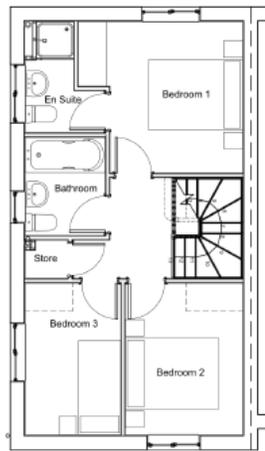
Front Elevation



Side Elevation



Ground Floor
1026sqm



First Floor



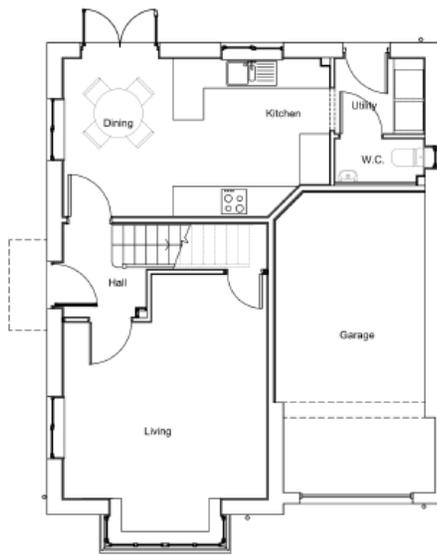
Rear Elevation



Front Elevation



Side Elevation



Ground Floor Plan
1118 sq ft (103.86m²)



First Floor Plan



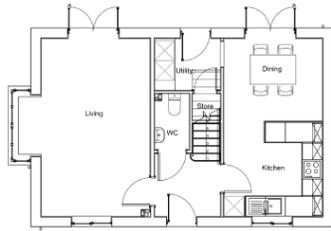
Front Elevation



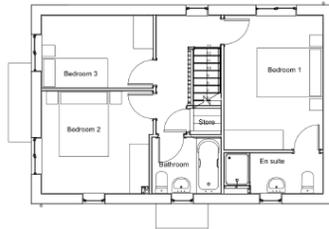
Side Elevation



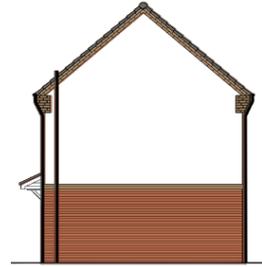
Rear Elevation



Ground Floor
1026sqm



First Floor



Side Elevation

A 15/10/20 Drawing updated in line with working drawing development PB

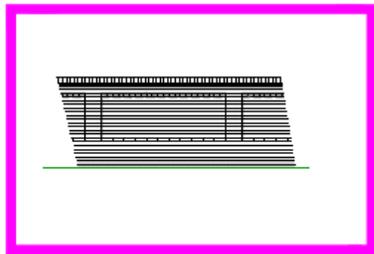
Rev. date (YYYYMMDD) name



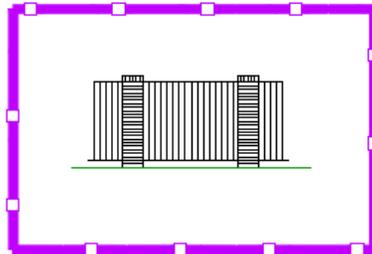
Harron Homes Limited
Colton House
Temple Point
Bullthorpe Lane
Leeds
LS15 9JL
Tel: 0113 204 4670
Fax: 0113 204 4677
Web: www.harronhomes.co.uk

status: PLANNING

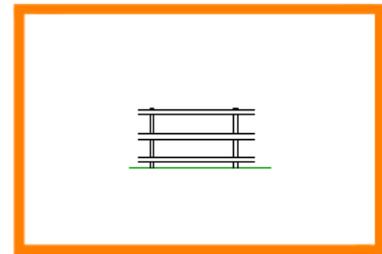
Appendix 4 – Boundary Treatments



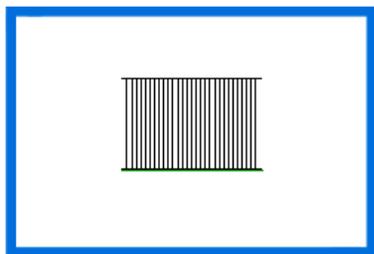
1.8M HIGH BRICK SCREEN WALL (W)
Refer to Standard Detail



1.8M HIGH SCREEN FENCE WITH
BRICK PIERS (PP)
Refer to Standard Detail



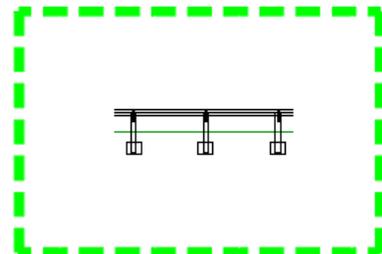
1.5M HIGH POST & RAIL FENCE
TO BOUNDARIES
Refer to Standard Detail



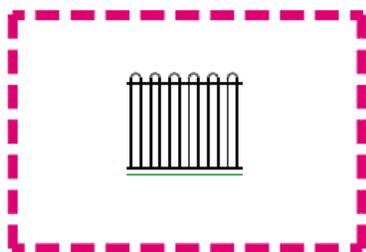
1.8M HIGH FEATHER EDGE TIMBER
FENCE TO REAR BOUNDARIES
Refer to Standard Detail



1.2M METAL RAILINGS



0.45m HIGH KNEE RAIL FENCE
ADJACENT TO FOOTPATHS
Refer to Standard Detail



1.1m HIGH HOOP TOP METAL
RAILINGS - To be fitted around leap

